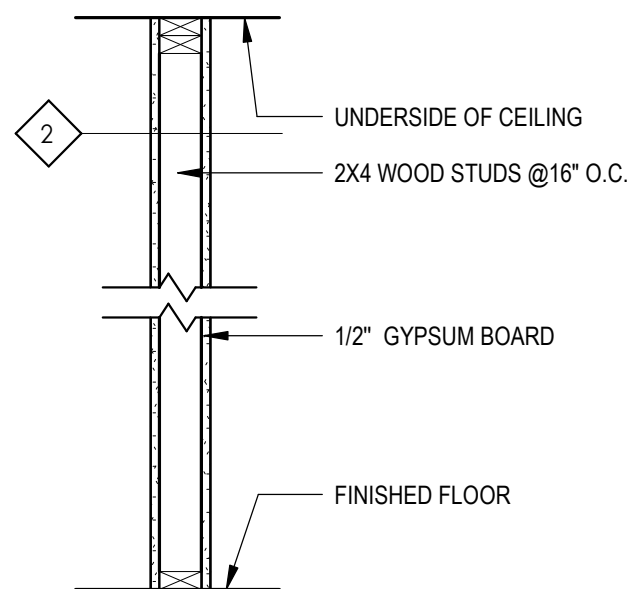
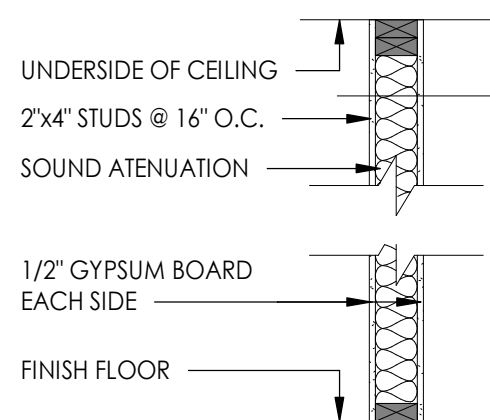


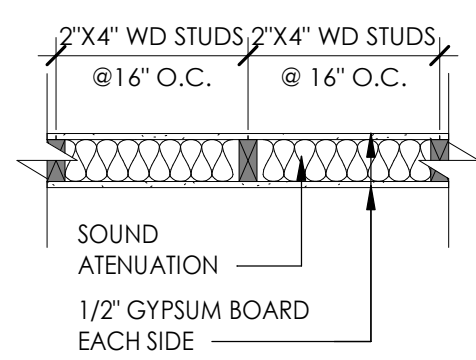
2 FOUNDATION WALL - 8" CMU  
3/4" = 1'-0"



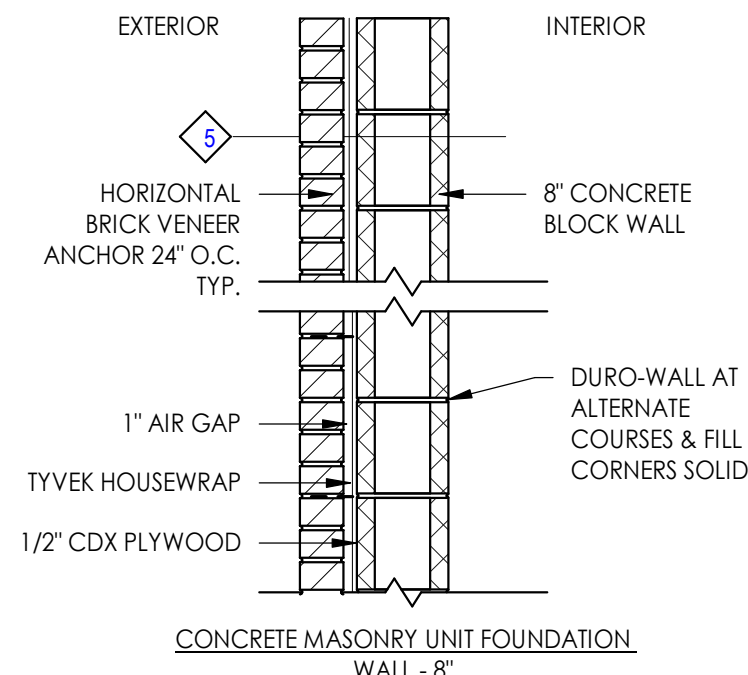
3 INTERIOR PARTITION WALL 4"  
3/4" = 1'-0"



SECTION VIEW



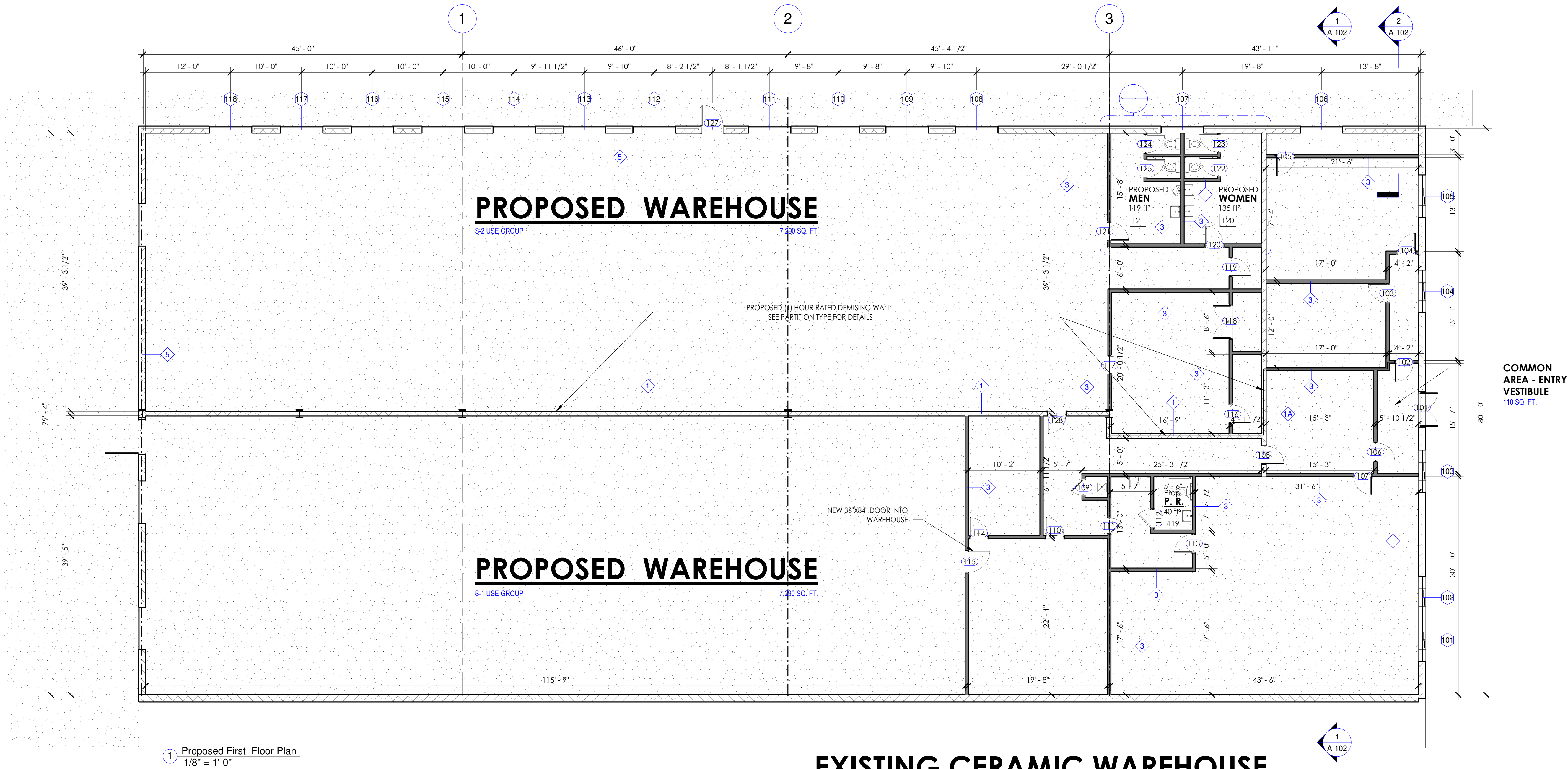
PLAN VIEW



6 PARTITION TYPE-BRICK VENEER & 8"  
CMU BLOCK  
3/4" = 1'-0"

PARTITION NOTES

1. ALL PARTITION TYPES SHOWN MAY NOT BE USED. ADDITIONAL PARTITION TYPES MAY APPLY AS SHOWN OR NOTED IN THE CONSTRUCTION DOCUMENTS.
2. ALL EXTERIOR WALL HEIGHTS ARE DETAILED AT WALL SECTIONS. ALL INTERIOR WALLS AND PARTITIONS SHALL BE CONSTRUCTED FROM THE FLOOR TO THE UNDERSIDE OF FLOOR / ROOF DECK ABOVE, UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DOCUMENTS.
3. TAGS SHOWN ON THIS LEGEND AND ON THE FLOOR PLANS REFLECT A PLAN SECTION TAKEN AT ±6'-0" A.F.F. SEE CORRESPONDING WALL SECTIONS AND DETAILS FOR VARIOUS CONDITIONS ALONG ENTIRE HEIGHT OF WALL CONSTRUCTION.
4. ALL FIRE RATED PARTITIONS ARE TO BE CONSTRUCTED PRIOR TO ALL NON-FIRE RATED PARTITIONS AS SHOWN IN THE FLOOR PLANS.
5. ALL FIRE RATED PARTITIONS ARE TO BE CONSTRUCTED PRIOR TO ALL SOFFIT WORK AND CONSTRUCTION.
6. PROVIDE GYP. BD. WALLS PRIOR TO ALL TUB INSTALLATION.
7. FOR TYPICAL FIRE RATED PARTITION PENETRATION DETAILS REFER TO DRAWING LIST
8. ALL DEMISING WALLS AND ALL FLOORS SHALL HAVE A SOUND TRANSMISSION CLASS OF NOT LESS THAN 50, AS PER IBC SECTION 1206.2 & 1206.3
9. WOOD STUDS MAY BE USED IN PLACE OF METAL STUDS AS LONG AS THE REQUIRED FIRE RATING IS MAINTAINED.
10. WOOD STUDS MAY BE USED IN PLACE OF METAL STUDS AS LONG AS THE REQUIRED FIRE RATING IS MAINTAINED.
11. ALL DEMISING WALLS AND ALL FLOORS SHALL HAVE A SOUND TRANSMISSION CLASS OF NOT LESS THAN 50, AS PER IBC SECTION 1206.2 & 1206.3



1 Proposed First Floor Plan  
1/8" = 1'-0"

EXISTING CERAMIC WAREHOUSE

S-2 USE GROUP

ARCHITECT  
Pietro Rosato, AIA, NCARB  
NJ # 21A102032400  
NY # 040210  
CT # ARI.00141118

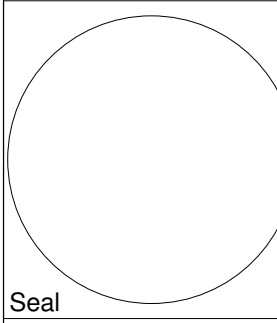
OWNER  
Banker Realty, LLC

CONSULTANTS

No. Description Date

41 BANCER STREET  
ENGLEWOOD NJ

PROPOSED RIGHT SIDE  
WAREHOUSE



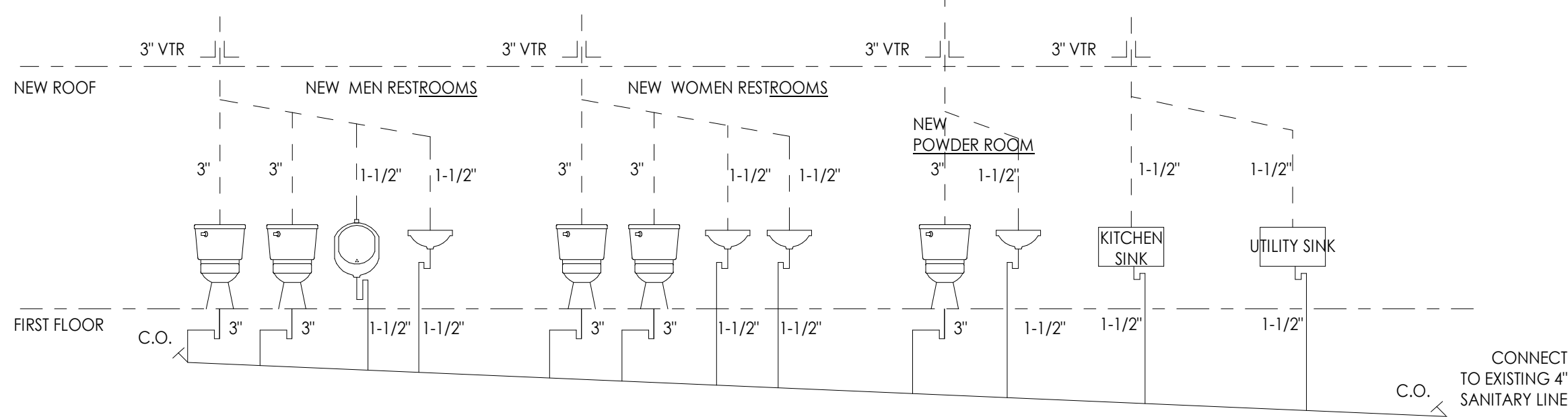
Project #: PS20-154  
Date: 07/08/2021  
Drawn by: JG/GL  
Checked by: PR

A-100

Scale As indicated  
NYC DOB

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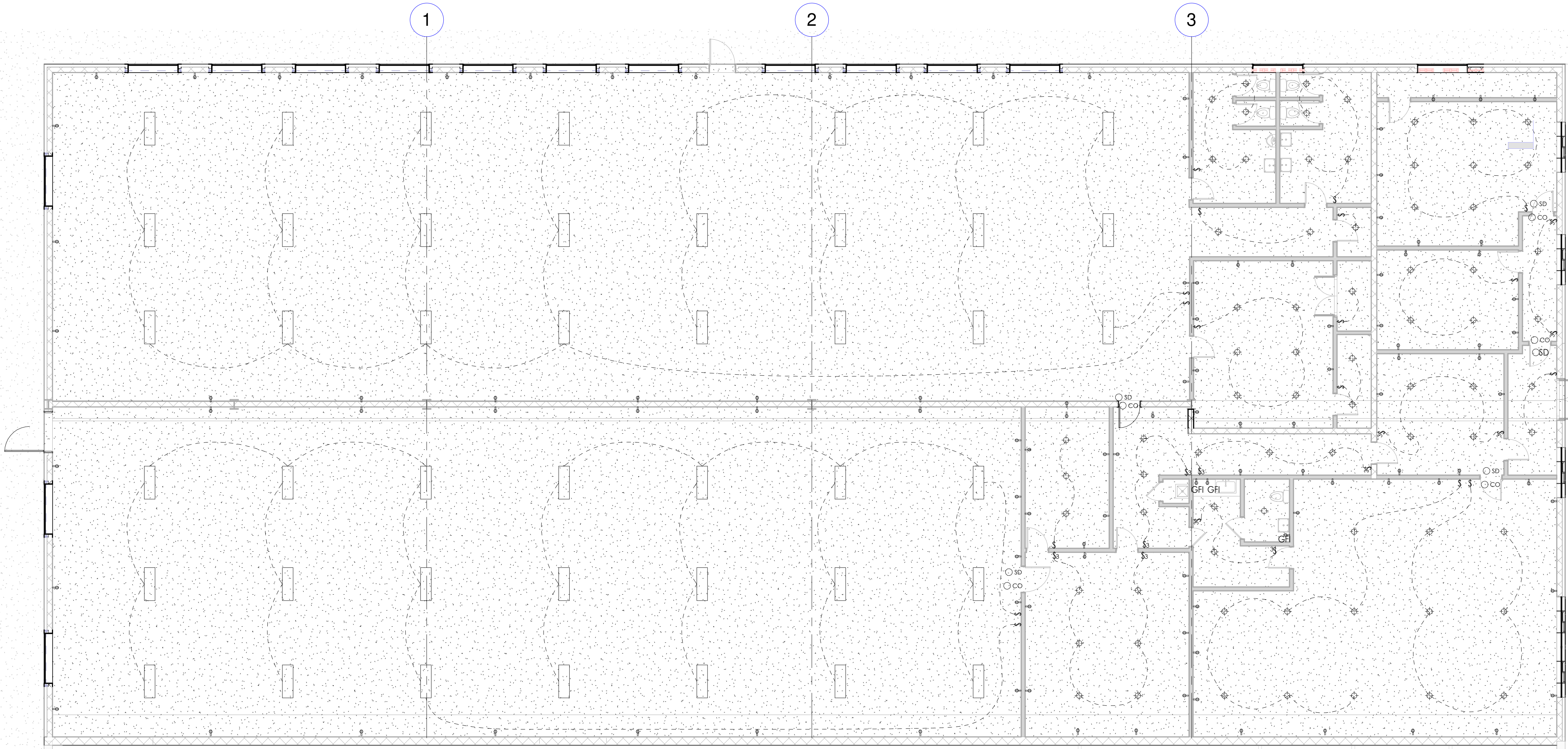


- PLUMBING RISER NOTES:
- ALL HORIZONTAL PIPE RUNS, WASTES OR VENTS SHALL PITCH A MINIMUM OF 1/4" PER FOOT.
  - ALL VTR'S TO BE LOCATED IN REAR ROOFS IF POSSIBLE.
  - VTR'S SHALL NOT BE LOCATED WITHIN 10 FEET OF A WINDOW.
  - CONTRACTOR'S LICENSED PLUMBER TO REVIEW DIAGRAM AND CORRECT AS REQUIRED.
  - ALL WORK TO CONFIRM WITH ALL APPLICABLE CODES.
  - THE EMERGENCY OVERFLOW CONDENSATION LINE SHALL DISCHARGE AT THE EXTERIOR WALL DIRECTLY ABOVE THE NEW SECOND FLOOR BATHROOM WINDOW.

2 Sanitary Riser Diagram  
N.T.S.

WINDOW SCHEDULE								
Mark	Location	Count	Width	Height	Head Height	Sill Height	Hardware Finish	Grille Style
First Floor Level								
101		1	2'-8"	7'-0"	9'-0"	2'-0"		
102		1	2'-8"	7'-0"	9'-0"	2'-0"		
103		1	2'-8"	7'-0"	9'-0"	2'-0"		
104		1	2'-8"	7'-0"	9'-0"	2'-0"		
105		1	2'-8"	7'-0"	9'-0"	2'-0"		
106		1	6'-0"	6'-0"	8'-0"	2'-0"		
107		1	6'-0"	6'-0"	8'-0"	2'-0"		
108		1	6'-0"	6'-0"	8'-0"	2'-0"		
109		1	6'-0"	6'-0"	8'-0"	2'-0"		
110		1	6'-0"	6'-0"	8'-0"	2'-0"		
111		1	6'-0"	6'-0"	8'-0"	2'-0"		
112		1	6'-0"	6'-0"	8'-0"	2'-0"		
113		1	6'-0"	6'-0"	8'-0"	2'-0"		
114		1	6'-0"	6'-0"	8'-0"	2'-0"		
115		1	6'-0"	6'-0"	8'-0"	2'-0"		
116		1	6'-0"	6'-0"	8'-0"	2'-0"		
117		1	6'-0"	6'-0"	8'-0"	2'-0"		
118		1	6'-0"	6'-0"	8'-0"	2'-0"		
119		1	6'-0"	6'-0"	8'-0"	2'-0"		
120		1	6'-0"	6'-0"	8'-0"	2'-0"		
121		1	6'-0"	6'-0"	8'-0"	2'-0"		

DOOR SCHEDULE			
Door Number	Door Size	Door Type	Finish Comments
First Floor Level			
101	2'-2"x6'-8"	Exterior	
102	2'-6"x6'-8"	Interior	
103	2'-6"x6'-8"	Interior	
104	2'-6"x6'-8"	Interior	
105	2'-6"x6'-8"	Interior	
106	2'-6"x6'-8"	Interior	
107	2'-6"x6'-8"	Interior	
108	2'-6"x6'-8"	Interior	
109	2'-2"x6'-8"	Interior	
110	2'-6"x6'-8"	Interior	
111	2'-2"x6'-8"	Interior	
112	2'-6"x6'-8"	Interior	
113	2'-6"x6'-8"	Interior	
114	2'-6"x6'-8"	Interior	
115	3'-0"x6'-8"	Interior	
116	2'-6"x6'-8"	Interior	
117	2'-6"x6'-8"	Interior	
118	2'-2"x6'-8"	Interior	
119	2'-6"x6'-8"	Interior	
120	2'-6"x6'-8"	Interior	
121	2'-6"x6'-8"	Interior	
122	2'-6"x6'-8"	Interior	
123	2'-6"x6'-8"	Interior	
124	2'-6"x6'-8"	Interior	
125	2'-6"x6'-8"	Interior	
127	3'-0"x6'-8"	Interior	
128	2'-6"x6'-8"	Exterior	
134	4'-2" x 7'-0"	Interior	



3 Electrical First Floor Plan  
1/8" = 1'-0"

BANCKER STREET

PIROSTUDIO

ARCHITECT  
Pietro Rosato, AIA, NCARB  
NJ # 21A102032400  
NY # 040210  
CT # ARI.00141118

OWNER  
Bancker Realty, LLC

CONSULTANTS

No.

Date

Description

41 BANCKER STREET  
ENGLEWOOD NJ

ELECTRICAL FLOOR PLAN

Seal

Project #: PS20-154  
Date: 07/08/2021  
Drawn by: JG/GL  
Checked by: PR

A-101

Scale  
NYC DOB

As indicated

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OWNER  
Bancker Realty, LLC

CONSULTANTS

No.	Description	Date

41 BANCKER STREET  
ENGLEWOOD NJ

EXISTING - FIRST FLOOR  
PLAN - LEFT SIDE  
WAREHOUSE

Seal

1

Project #:

PS20-154

Date:

07/08/2021

Drawn by:

JG/GL

Checked by:

PR

A-103

Scale  
NYC DOB

1/8" = 1'-0"



1 Existing Second Floor Plan  
1/8" = 1'-0"

PIRO

STUDIO

ARCHITECT  
Pietro Rosato, AIA, NCARB  
NJ # 21AIO2032400  
NY # 040210  
CT # ARI.0014118

OWNER  
Bancker Realty, LLC

CONSULTANTS

No.

Description

Date

41 BANCER STREET  
ENGLEWOOD NJ

EXISTING SECOND FLOOR  
PLAN-LEFT SIDE

Seal

Project #: PS20-154  
Date: 07/08/2021  
Drawn by: JG/GL  
Checked by: PR

A-104

Scale  
NYC DOB

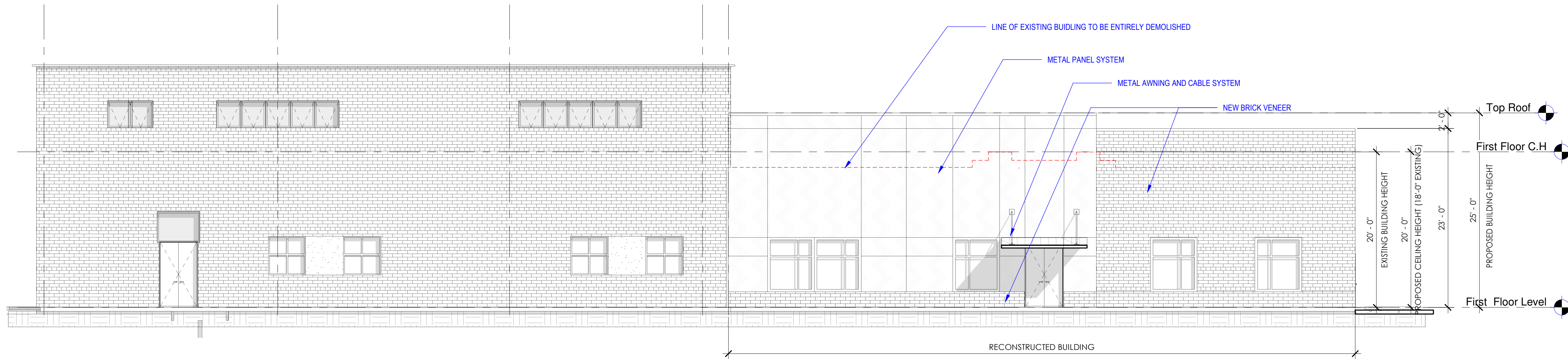
1/8" = 1'-0"

NEW YORK:  
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NEW YORK, NY 10128

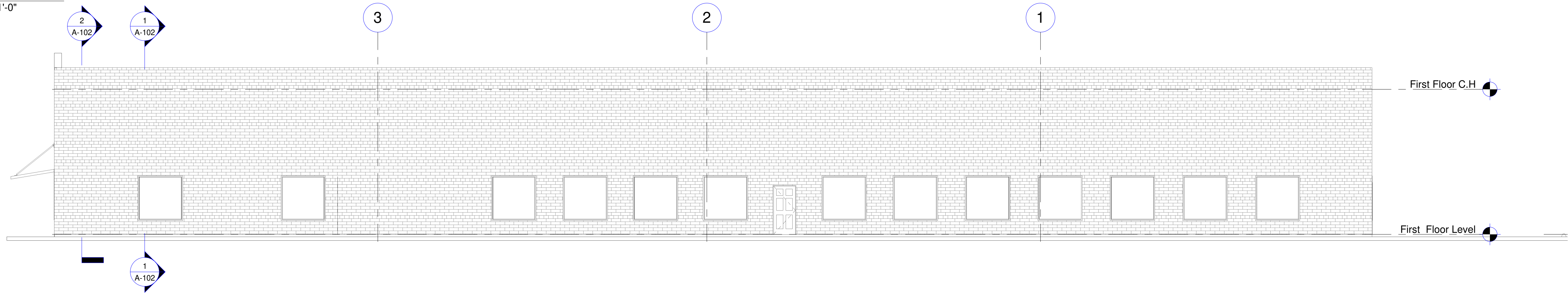
NEW JERSEY:  
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1 Front Elevation  
1/8" = 1'-0"



2 Proposed Right Elevation  
1/8" = 1'-0"



3 Rear Elevation  
1/8" = 1'-0"

ARCHITECT  
Pietro Rosato, AIA, NCARB  
NJ # 21A102032400  
NY # 040210  
CT # ARI.00141118

OWNER  
Bancker Realty, LLC

CONSULTANTS

No. Date Description

41 BANCKER STREET  
ENGLEWOOD NJ

PROPOSED ELEVATION

Project #: PS20-154  
Date: 07/08/2021  
Drawn by: JG/GL  
Checked by: PR

Seal

A-200

Scale  
NYC DOB 1/8" = 1'-0"

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