

ARCHITECT
Pietro Rosato, AIA, NCARB
NJ # 21AI02032400
NY # 040210
CT # ARI.0014118

OWNER Bancker Realty, LLC

CONSULTANTS

No. Date Date

41 BANCKER STREET ENGLEWOOD NJ

PROPOSED RIGHT SIDE WAREHOUSE

Project #: PS20-154

Date: 07/08/2021

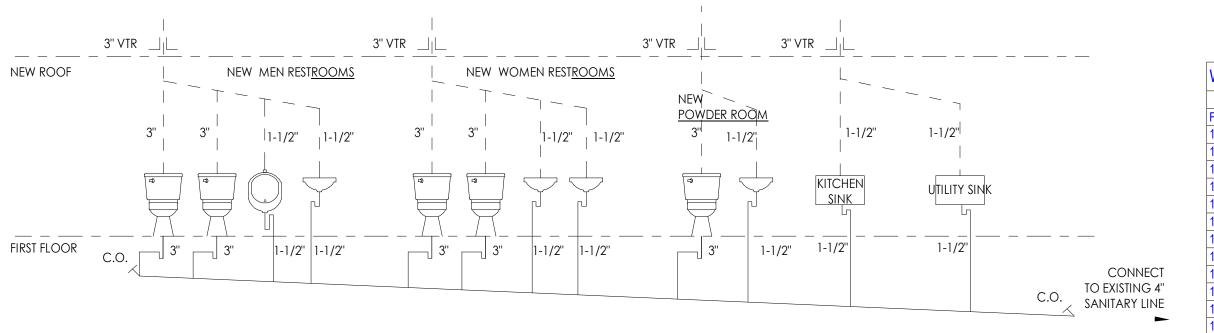
Drawn by: JG/GL

Checked by: PR

**A-100** 

As indicated

ale C DOB



PLUMBING RISER NOTES: - ALL HORIZONTAL PIPE RUNS, WASTES OR VENTS SHALL PITCH A MINIMUM OF 1/4' PER FOOT.

- ALL VTR'S TO BE LOCATED IN REAR ROOFS IF POSSIBLE. - VTR'S SHALL NOT BE LOCATED WITHIN 10 FEET OF A WINDOW.

- CONTRACTORS LICENSED PLUMBER TO REVIEW DIAGRAM AND CORRECT AS REQUIRED.

- ALL WORK TO CONFIRM WITH ALL APPLICABLE CODES. - THE EMERGENCY OVERFLOW CONDENSATION LINE SHALL DISCHARGE AT THE

EXTERIOR WALL DIRECTLY ABOVE THE NEW SECOND FLOOR BATHROOM WINDOW.

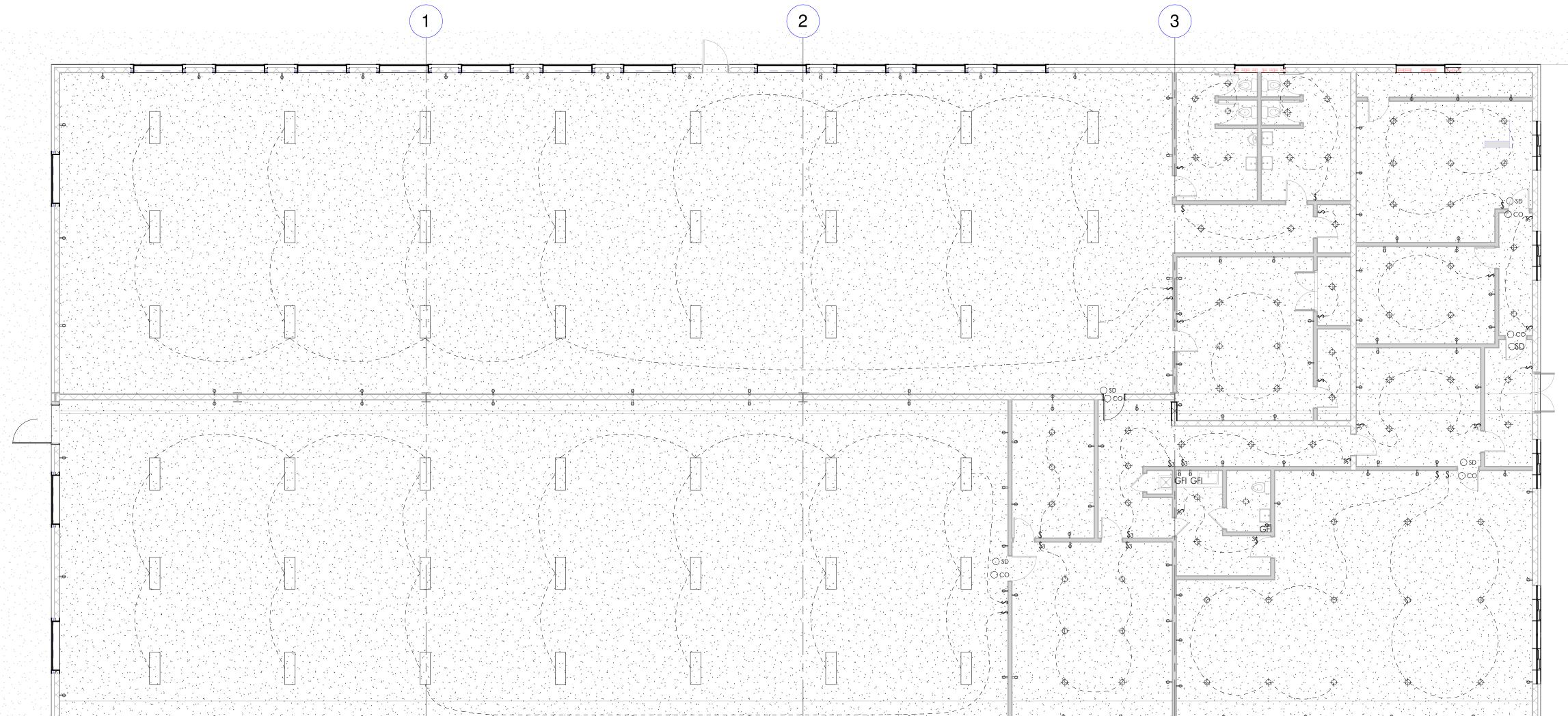
2 Sanitary Riser Diagram N.T.S.

WINDOW S	SCHEDULE								
Mark	Location	Count	Width	Height	Head Height	Sill Height	Hardware Finish	Grille Style	Comments
First Floor Lev	/el								
101		1	2' - 8"	7' - 0"	9' - 0"	2' - 0"			
102		1	2' - 8"	7' - 0"	9' - 0"	2' - 0"			
103		1	2' - 8"	7' - 0"	9' - 0"	2' - 0"			
104		1	2' - 8"	7' - 0"	9' - 0"	2' - 0"			
105		1	2' - 8"	7' - 0"	9' - 0"	2' - 0"			
106		1	6' - 0"	6' - 0"	8' - 0"	2' - 0"			
107		1	6' - 0"	6' - 0"	8' - 0"	2' - 0"			
108		1	6' - 0"	6' - 0"	8' - 0"	2' - 0"			
109		1	6' - 0"	6' - 0"	8' - 0"	2' - 0"			
110		1	6' - 0"	6' - 0"	8' - 0"	2' - 0"			
111		1	6' - 0"	6' - 0"	8' - 0"	2' - 0"			
112		1	6' - 0"	6' - 0"	8' - 0"	2' - 0"			
113		1	6' - 0"	6' - 0"	8' - 0"	2' - 0"			
114		1	6' - 0"	6' - 0"	8' - 0"	2' - 0"			
115		1	6' - 0"	6' - 0"	8' - 0"	2' - 0"			
116		1	6' - 0"	6' - 0"	8' - 0"	2' - 0"			
117		1	6' - 0"	6' - 0"	8' - 0"	2' - 0"			
118		1	6' - 0"	6' - 0"	8' - 0"	2' - 0"			
119		1	6' - 0"	6' - 0"	8' - 0"	2' - 0"			
120		1	6' - 0"	6' - 0"	8' - 0"	2' - 0"			
121		1	6' - 0"	6' - 0"	8' - 0"	2' - 0"			

	er Door Size		Finish Comments	
Door Number		Door Type		
First Floor Level	2 2'-6"x6'-8"	Exterior		
102	2-16"x6'-8"			
103	2-6 x6-6 2-'6"x6'-8"	Interior		
104	2-6 x6-6 2-'6"x6'-8"	Interior		
		Interior		
105	2-'6"x6'-8"	Interior		
106	2-'6"x6'-8"	Interior		
107	2-'6"x6'-8"	Interior		
108	2-'6"x6'-8"	Interior		
109	2'-2"x6'-8"	Interior		
110	2-'6"x6'-8"	Interior		
111	2'-2"x6'-8"	Interior		
112	2-'6"x6'-8"	Interior		
113	2-'6"x6'-8"	Interior		
114	2-'6"x6'-8"	Interior		
115	3'-0"x 6'-8"	Interior		
116	2-'6"x6'-8"	Interior		
117	2-'6"x6'-8"	Interior		
118	2 2'-6"x6'-8"	Interior		
119	2-'6"x6'-8"	Interior		
120	2-'6"x6'-8"	Interior		
121	2-'6"x6'-8"	Interior		
122	2'-6"x6'-8"	Interior		
123	2'-6"x6'-8"	Interior		
124	2'-6"x6'-8"	Interior		
125	2'-6"x6'-8"	Interior		
127	3'-0"x 6'-8"	Exterior		
128	2-'6"x6'-8"	Interior		
134	4'-2" x 7'-0"			







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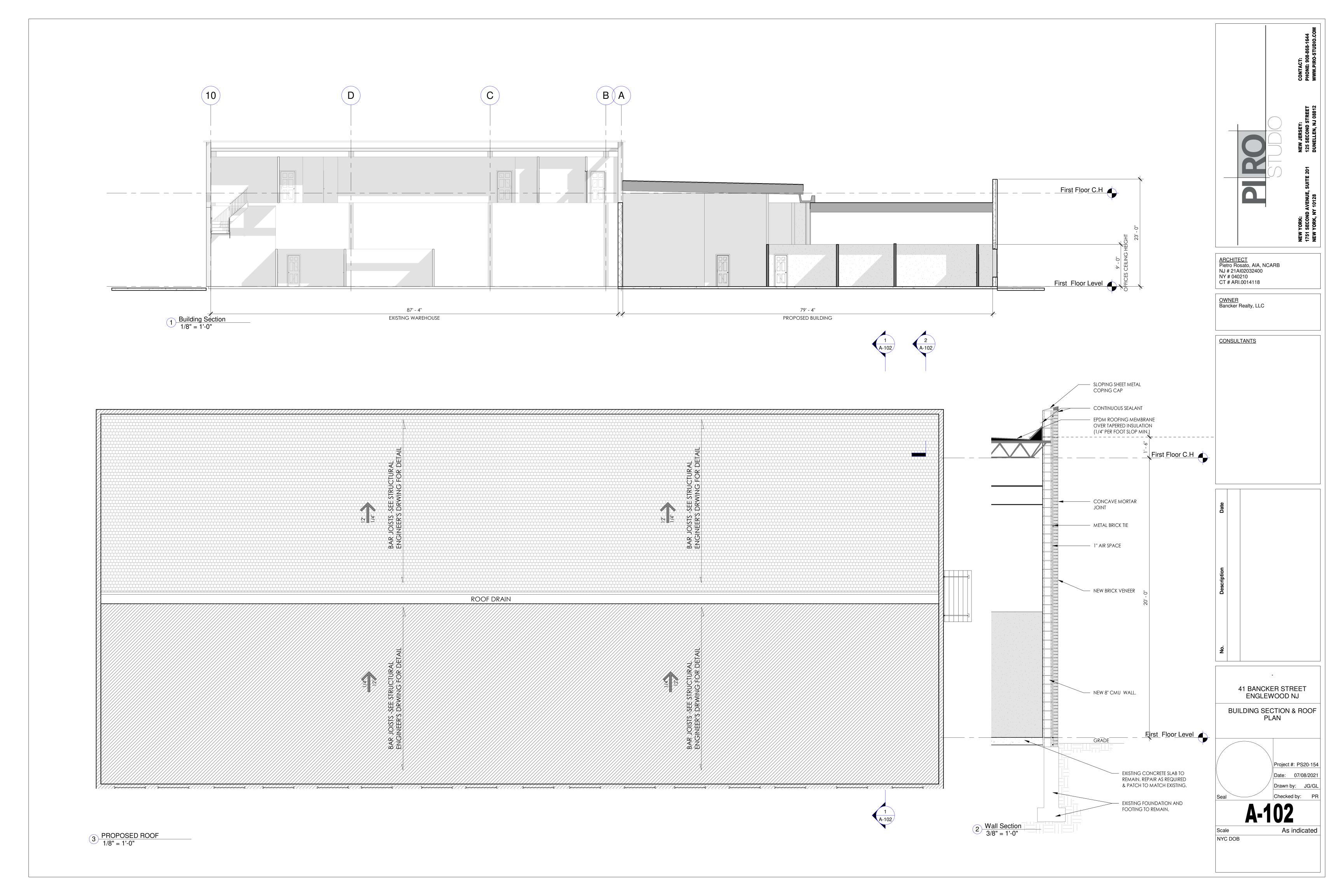
41 BANCKER STREET ENGLEWOOD NJ

ELECTRICAL FLOOR PLAN

Project #: PS20-154 Date: 07/08/2021

As indicated Scale NYC DOB

3 Electrical First Floor Plan 1/8" = 1'-0"





NEW YORK:

NEW YORK:

1751 SECOND AVENUE, SUITE 201

NEW YORK, NY 10128

DUNELLEN, NJ 08812

WWW.PIRO-STUDIO.CC

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41 BANCKER STREET ENGLEWOOD NJ

EXISTING FIRST FLOOR PLAN - LEFT SIDE WAREHOUSE

Project #: PS20-154

Date: 07/08/2021

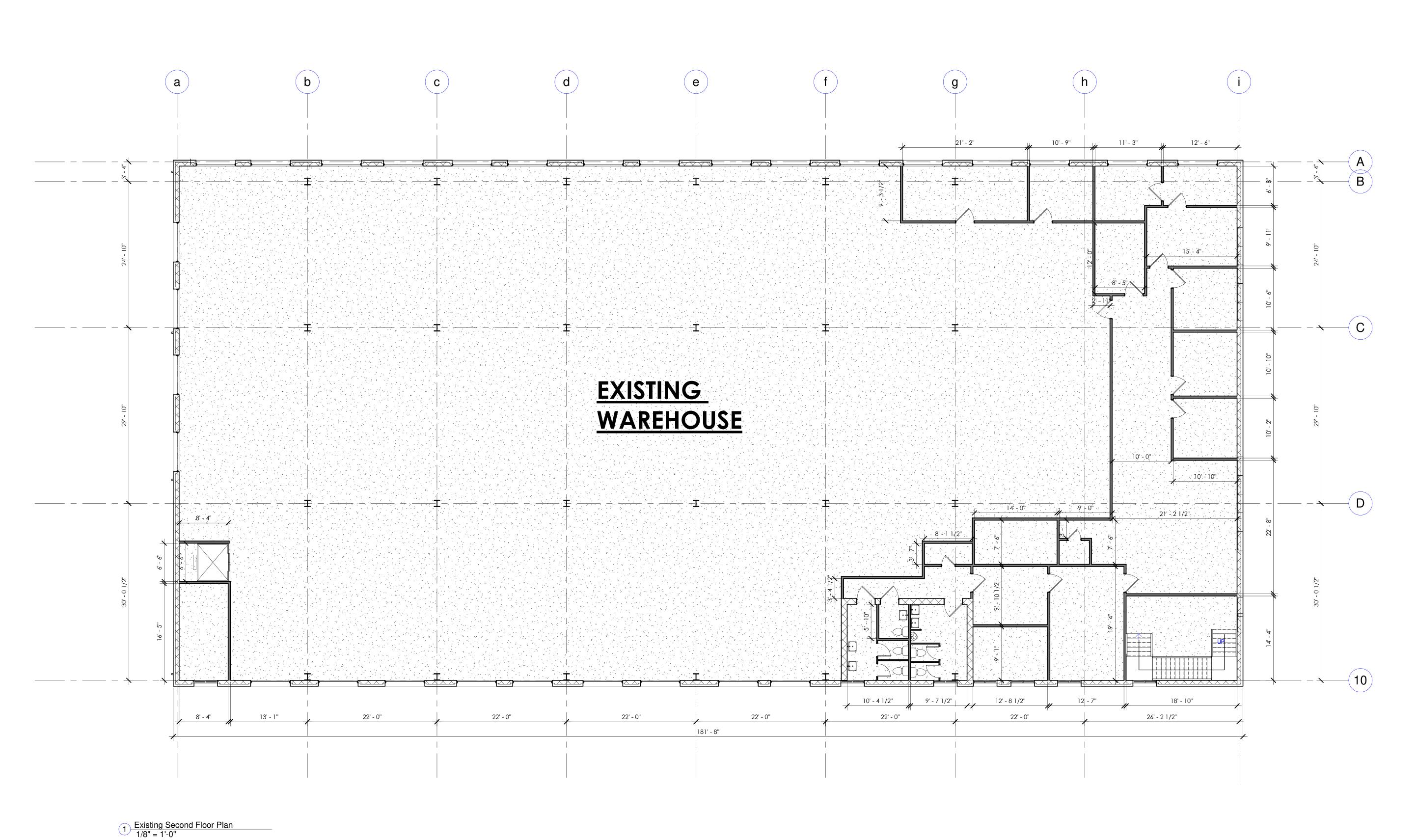
Drawn by: JG/GL

1/8" = 1'-0"

**A-103** 

e DOB

1 Existing First Floor Plan Left side 1/8" = 1'-0"



NEW YORK:

1751 SECOND AVENUE, SUITE 201 125 SECOND STREET

NEW YORK, NY 10128

DUNELLEN, NJ 08812

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41 BANCKER STREET ENGLEWOOD NJ

EXISTING SECOND FLOOR PLAN-LEFT SIDE

Project #: PS20-154

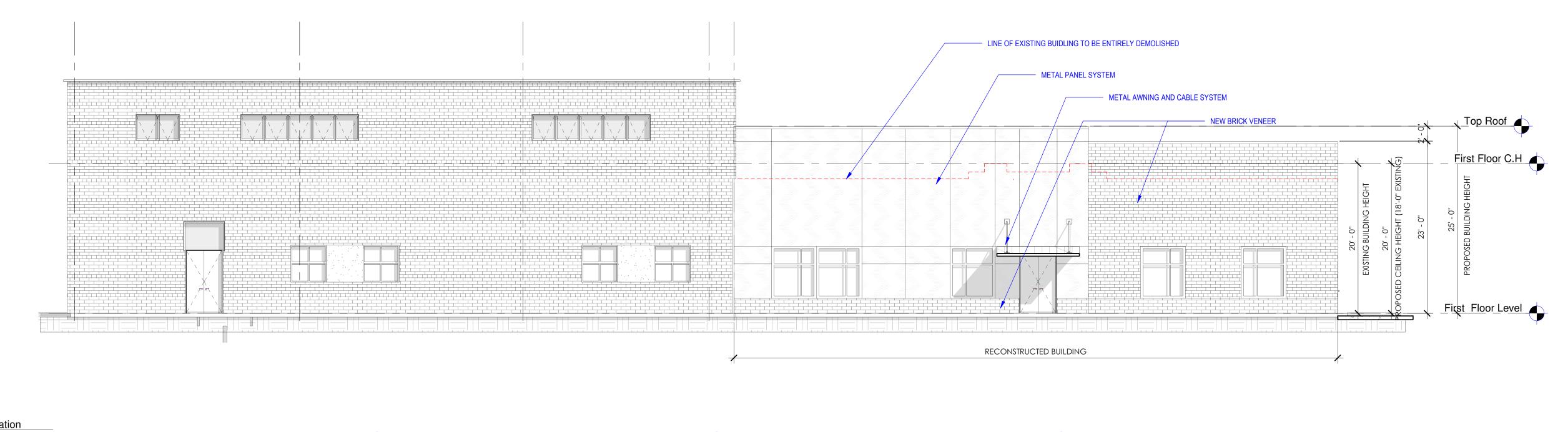
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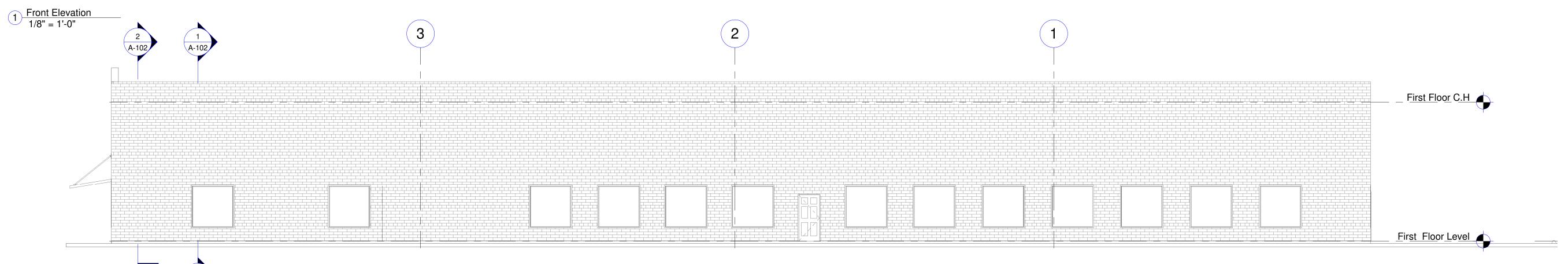
Drawn by: JG/GL

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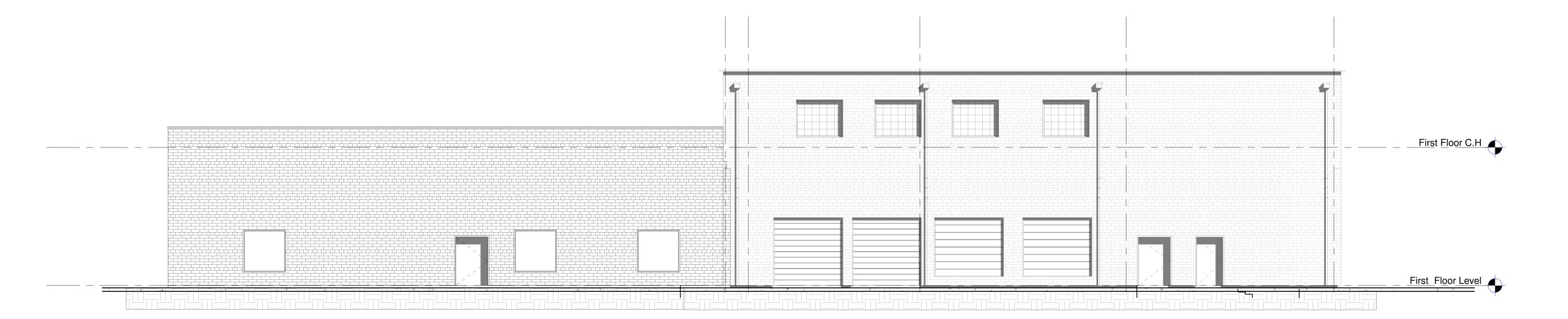
A-104

1/8" = 1'-0"





Proposed Right Elevation
1/8" = 1'-0"



NEW YORK:

NEW YORK:

1751 SECOND AVENUE, SUITE 201

125 SECOND STREET

PHONE: 908-868-1644

DUNELLEN, NJ 08812

WWW.PIRO-STUDIO.CC

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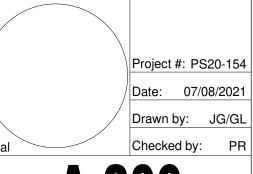
OWNER Bancker Realty, LLC

<u>CONSULTANTS</u>

lo. Date

41 BANCKER STREET ENGLEWOOD NJ

PROPOSED ELEVATION



**A-200**e 1/8" = 1'-0"

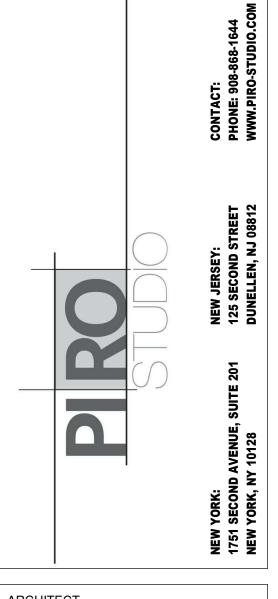
Scale NYC DOB

Rear Elevation
1/8" = 1'-0"

## RECONSTRUCTION OF RIGHT SIDE WAREHOUSE

41 BANCKER STREET
CITY OF ENGLEWOOD
BERGEN COUNTY
NEW JERSEY

BLOCK 2909 - LOT 8



PROJECT TEAM

PRINCIPAL ARCHITECT
PIETRO ROSATO, AIA, NCARB

PROJECT MANAGER

GABRIEL LANDAVERDE

<u>DESIGN ASSOCIATE</u>

JHONNY GONZALEZ

PROJECT SCOPE

Reconstruction of Right side warehouse

PROJECT INFORMATION

CONSTRUCTION CLASS: IIB USE GROUPS: S-1 & S-2

CODE INFORMATION

All work shall conform with the requirements of the new jersey uniform construction code and all other applicable codes and ordinances. Where code requirements conflict with these drawings, codes take precedence.

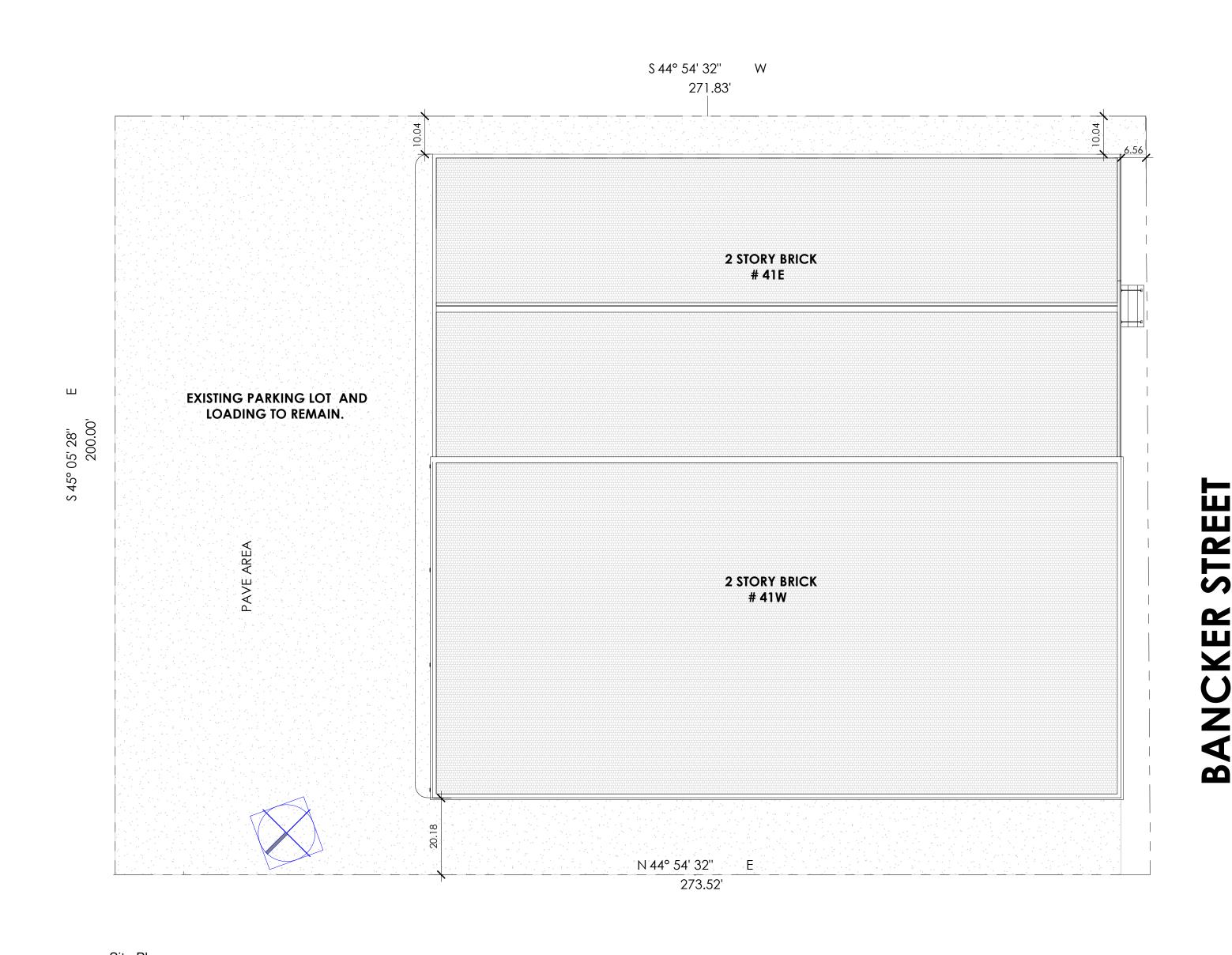
- All construction work shall comply with the 2018 IBC NJ edition
- All plumbing work shall comply with the 2018 national standard plumbing code.
   All HVAC work shall comply with the ICC 2018 international mechanical code.

- All electrical work shall comply with the 2017 national standard electrical code.

## **BUILDING CALCULATIONS**

Floor level	Existing	Proposed	Total	Volume
First Floor	0,0 SqFt.	1,477 SqFt.	1,477 SqFt.	29,540 Cu.Ft.
TOTAL	0,0 SqFt.	1,477 SqFt.	1,477 SqFt.	29,540 Cu.Ft.

Sheet Number	Sheet Name	Sheet Order	
T-100	SITE PLAN	1	
A-100	PROPOSED RIGHT SIDE WAREHOUSE	2	
A-101	ELECTRICAL FLOOR PLAN	3	
A-102	BUILDING SECTION & ROOF PLAN	4	
A-103	EXISTING FIRST FLOOR PLAN - LEFT SIDE WAREHOUSE	5	
A-104	EXISTING SECOND FLOOR PLAN-LEFT SIDE	6	
A-200	PROPOSED ELEVATION	7	



## GENERAL CONDITIONS:

1. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS COVERING OR AFFECTING THE WORK, OBTAIN ALL DIMENSIONS TO INSURE THE PROPER STRENGTH, FIT, AND LOCATION OF THE WORK; REPORT TO THE ARCHITECT AND/OR ENGINEER ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE NEW WORK. NOTIFY THE ARCHITECT OF ALL CONFLICTS. ANY OMISSION OR OVERSIGHT ON THE PART OF THE CONTRACTOR WILL NOT BE CONSIDERED SUFFICIENT GROUND TO JUSTIFY ADDITIONAL COMPENSATION. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY DISCREPANCIES NOT BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO THE START OF CONSTRUCTION.

2. ALL CONSTRUCTION SHALL COMPLY FULLY WITH THE APPLICABLE PROVISIONS OF OSHA AND THE LOCAL OR STATE BUILDING CODES LATEST EDITION. ALL REQUIREMENTS OF THE CODES SHALL BE ADHERED TO AS IF THEY WERE CALLED FOR, OR SHOWN ON THE DRAWINGS. THIS SHALL NOT BE CONSTRUED TO MEAN THAT ANY REQUIREMENTS SET FOURTH ON THE DRAWINGS MAY BE MODIFIED BECAUSE THEY ARE MORE STRINGENT THAN THE CODE REQUIREMENTS OR BECAUSE THEY ARE NOT SPECIFICALLY REQUIRED BY CODE.

3. THE GENERAL CONTRACTOR SHALL PROVIDE A NEW JERSEY LICENSED SURVEYOR TO ESTABLISH THE LOCATION OF ALL NEW CONSTRUCTION, GRADES, AND IMPROVEMENTS REQUIRED.

4. THE GENERAL CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIALS AND PRODUCTS IN STRICT ACCORDANCE WITH THE MANUFACTURES REQUIREMENTS AND RECOMMENDATIONS. REVIEW OF SHOP DRAWINGS BY THE ARCHITECT SHALL NOT RELIEVE THE CONTRACTOR OF ANY CONTRACT REQUIREMENTS. REVISIONS TO SHOP DRAWINGS AFTER FIRST SUBMISSION WILL BE IDENTIFIED ON SUBSEQUENT SUBMISSIONS.

5. ALL MATERIALS STORED WITHIN THE BUILDING SHALL BE NEATLY STACKED. DO NOT STORE COMBUSTIBLE MATERIAL ON THE PREMISES FOR A PERIOD LONGER THAN NECESSARY.

6. THE CONTRACTOR SHALL PROTECT THE WORK AND ALL ADJACENT PROPERTY FROM LOSS OR DAMAGE RESULTING FROM ITS OPERATION. AND IN THE EVENT OF SUCH LOSS OR DAMAGE, SHALL MAKE SUCH REPLACEMENTS OR REPAIRS AS REQUIRED WITH OUT ADDITIONAL COST TO THE OWNER.

7. THE GENERAL CONTRACTOR WILL COORDINATE ALL WORK BY LOCAL UTILITY COMPANIES, ALL SHUTDOWNS OF UTILITIES WITH THE OWNER AND PROVIDE A MINIMUM OF 48 NOTICE WITH A MAXIMUM SHUTDOWN OF 12 HRS. PROVIDE TEMPORARY TELEPHONE AND TOILET FACILITIES FOR USE BY THE WORKMEN.

8. TRIM: THE GENERAL CONTRACTOR SHALL PROVIDE NEW FLOOR, DOOR, AND CEILING TRIM. MOLDING AND MILLWORK NUMBERS, WHERE PROVIDED, ARE GIVEN FOR IDENTIFICATION PURPOSES ONLY. OTHER SUPPLIERS WITH MATCHING PROFILES, MATERIAL, SHAPE AND SIZE MAY BE USED.

9. WOOD FLOORS: THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE FINISHING AND/OR REFINISHING OF ALL WOOD FLOORS. SAND ALL FLOORS AND PROVIDE THREE (3) COATS OF POLYURETHANE FINISH.

10. DOORS: ALL NEW DOORS TO BE SOLID CORE WOOD 1 3/8" INTERIOR AND 1 3/4" EXTERIOR TO BE PAINTED. DOORS BY MORGAN OR EQUAL UNLESS OTHERWISE NOTED.

11. WINDOWS: SIZES INDICATED ON THE PLANS MAY VARY BASED ON THE ACTUAL MANUFACTURER SELECTED.
PROVIDE AN EGRESS APPROVED WINDOW MEETING CODE REQUIREMENTS AT EACH AND EVERY SLEEPING ROOM.
CONTRACTOR TO VERIFY ALL ROUGH OPENINGS AND DIMENSIONS BEFORE ORDERING WINDOWS. PROVIDE HEAD AND SILL FLASHING AT ALL WINDOWS, COORDINATE WITH WALL FINISH MATERIAL.

10. PAINT: ALL NEW WALLS AND CEILINGS TO BE PREPARED FOR A PAINT FINISH UNLESS OTHER WISE NOTED. PROVIDE 2 COATS OF PAINT AND A FINAL COLOR COAT AS SELECTED BY OWNER.

11. CLOSETS:
A. COAT AND CLOTHES CLOSETS TO BE PROVIDED WITH CLOSET ORGANIZERS (MIN. 1 SHELF UNIT, 2 RODS) BY MILLS

B. LINEN AND STORAGE CLOSETS- (5) FIVE 18" DEEP PLYWOOD EDGE BANDED SHELVES FULL WIDTH OF CLOSET ON 1X2 PINE CLEATS CONTINUOUS 3 SIDES.

12. EXTERIOR SIDING: SIDING AS SELECTED BY OWNER, ON 2 LAYERS OF 15LB BUILDING FELTS.

13. EXTERIOR TRIM: BACK PRIME ALL NEW WOOD TRIM.

14. INSULATION: A. WALLS - R-19 B. FLOORS - R-19

C. ATTIC FLOOR SPACE - R-38

15. WARRANTY: THE GENERAL CONTRACTOR IS REQUIRED TO PROVIDE THE OWNER WITH A NOTEBOOK CONTAINING ALL WARRANTY INFORMATION, OPERATING INSTRUCTIONS, AND MAINTENANCE REQUIREMENTS. WARRANTIES WILL START FROM THE DATE OF THE CERTIFICATE OF OCCUPANCY.

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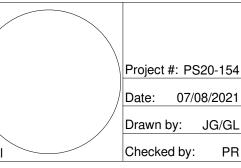
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SITE PLAN



T-100

Scale As indicated
NYC DOB